



# Residential Detached Accessory Buildings

## Accessory/Garages/Sheds

**Reference:** 2021 International Residential Code  
City of Robins Building Code Section 155.40 – Slab on Grade  
Foundations Code of Ordinances, City of Robins, Zoning Regulations,  
Chapter 165.

“Accessory building, structure, tree house or use” means use or structure subordinate to the principal use of a building or land on the same lot or parcel of ground and serving a purpose customarily incidental to the use of the principal building or land use. (Ordinance No. 1501, 3/2/15)

- Covenants for subdivisions shall be reviewed before applying for a building permit.  
(A copy of covenants may be found at City Hall)
- Lot coverage for all structures within a residential district, combined principal and accessory, shall not exceed 50% of building envelope. (Ordinance No. 1701, 5/15/17)
- Detached accessory buildings or structures shall be located no closer to any other accessory or principal building than three (3) feet and shall be limited to twenty (20) feet in height.
- No detached accessory building, including tree houses, shall be placed in front of the principal building on the zoning lot. Private detached garages must meet minimum principal structure front and side yard requirements unless located in rear twenty-five (25%) of the zoning lot and conforms to Section 165.19 (9)(D). (Ordinance No. 1501, 3/2/15)
- Any Accessory building(s) between 800 square feet and 1,250 square feet shall be approved by the Planning and Zoning Commission and must be compatible with the neighborhood. (Ordinance No. 1701, 5/15/17)
- Buildings 120 square feet and under do not require a permit, but a site plan shall be submitted to the Robins Building Department for review with location of principal structure, new structure and any easements on the property.
- Buildings over 120 square feet, the applicant shall provide the location, size, shape, color and material type information of the accessory building and that of the principal residential building. The accessory building design shall be visually harmonious and compatible with the principal building and the neighborhood character. The property owner is responsible to ensure the accessory building is in conformance with any restrictive covenants and not in conflict with any easements.
- All pole type structures require stamped Engineered drawings.

**Permit requirements:** A building permit is required when the detached accessory structure has a floor area over 120 square feet. All residential detached buildings are to be located per the zoning guidelines listed below.

**Zoning guidelines: Planning & Zoning Dept.**

- If the detached building is behind the primary structure (home), it can be constructed no closer than 5 feet from a side or rear property line unless a utility or drainage easement exists. No part of the structure may extend into an easement. Fire protection is required when the building is within 5 feet of a property line. (**See “Fire protection” requirements below.**)
- Should it be built beside the primary structure, the required side yard is 7 feet.
- A distance of 3 feet must be maintained between any portion (overhangs) of the detached structure and the primary structure.
- The area of the garage should not cover more than 40% of the required rear yard.
- Overhead garage doors shall be a minimum of 30 feet from property lines they face.
- A hard surface driveway is required from the street to the overhead door. If the door is 7' or smaller no driveway is required.

**A-1 Zoning** (Chapter 165.20 Agricultural Zoning Regulations)

**R-1 Zoning** (Chapter 165.21 Low Density Single Family Residential)

Yard Requirements:	Front Yard	35 feet
	Interior Side Yard	15 feet
	Corner Side Yard	30 feet
	Rear Yard	5 feet

Maximum Height in aggregate shall not exceed 20 feet  
Maximum Square footage shall not exceed 1,250 square feet in size.  
Maximum Floor Area ratio shall not exceed 0.30

**R-2 Zoning** (Chapter 165.22 Medium Density Single-Family Residential)

Yard Requirements:	Front Yard	30 feet
	Interior Side Yard	5 feet
	Corner Side Yard	20 feet
	Rear Yard	5 feet

Maximum Height in aggregate shall not exceed 20 feet  
Maximum Square footage shall not exceed 1,250 square feet in size.  
Maximum floor area ratio shall not exceed 0.50

**R-3 Zoning** (Chapter 165.23 Medium Density, Two-Family Residential)

Yard Requirement:	Front Yard	30 feet
	Interior Side Yard	5 feet***
	Corner Side Yard	20 feet
	Rear Yard	5 feet

Maximum Height shall not exceed 20 feet  
Maximum Square footage shall not exceed 1,250 square feet in aggregate size.  
Maximum floor area shall not exceed 0.50

\*\*\*Unless entire structure is located on the rear 25% of the lot, in which case only three (3) feet shall be required.

**Applying for a permit:** Submit 2 sets of building plans for review and approval. Via hard copy or PDF

- Complete the “*Sample Site Plan*” showing all required information.
- Fill out all of the applicable information on the “*Residential Detached Building*” form or submit detailed, scaled plans.
- Present all completed plans to the Building Department located at Robins City Hall for review.
- Upon completion of the review, you will be notified by phone or Emailed to secure your permit.

**Design considerations:**

- A floating slab foundation with thickened edges is permitted up to 1250 square feet and one story, with 2x4 walls not exceeding 10’ and 2x6 walls not exceeding 12’, pending roof span and loads.
- Foundation **shall not** be placed on sod or any organic materials.
- Placement only on original soil or engineered fill place per engineers specifications.
- Continuous frost spread footings minimum 12” wide and 42” below finished grade are required for any of the following conditions.
  - Detached garages exceeding 1,250 square feet and/or exceeding one story.
  - Garages (any size) attached to a dwelling.
  - Masonry veneer or concrete block walls.
  - Garages with bathrooms.
  - No pole type structures on floating slabs.

**Fire protection:**

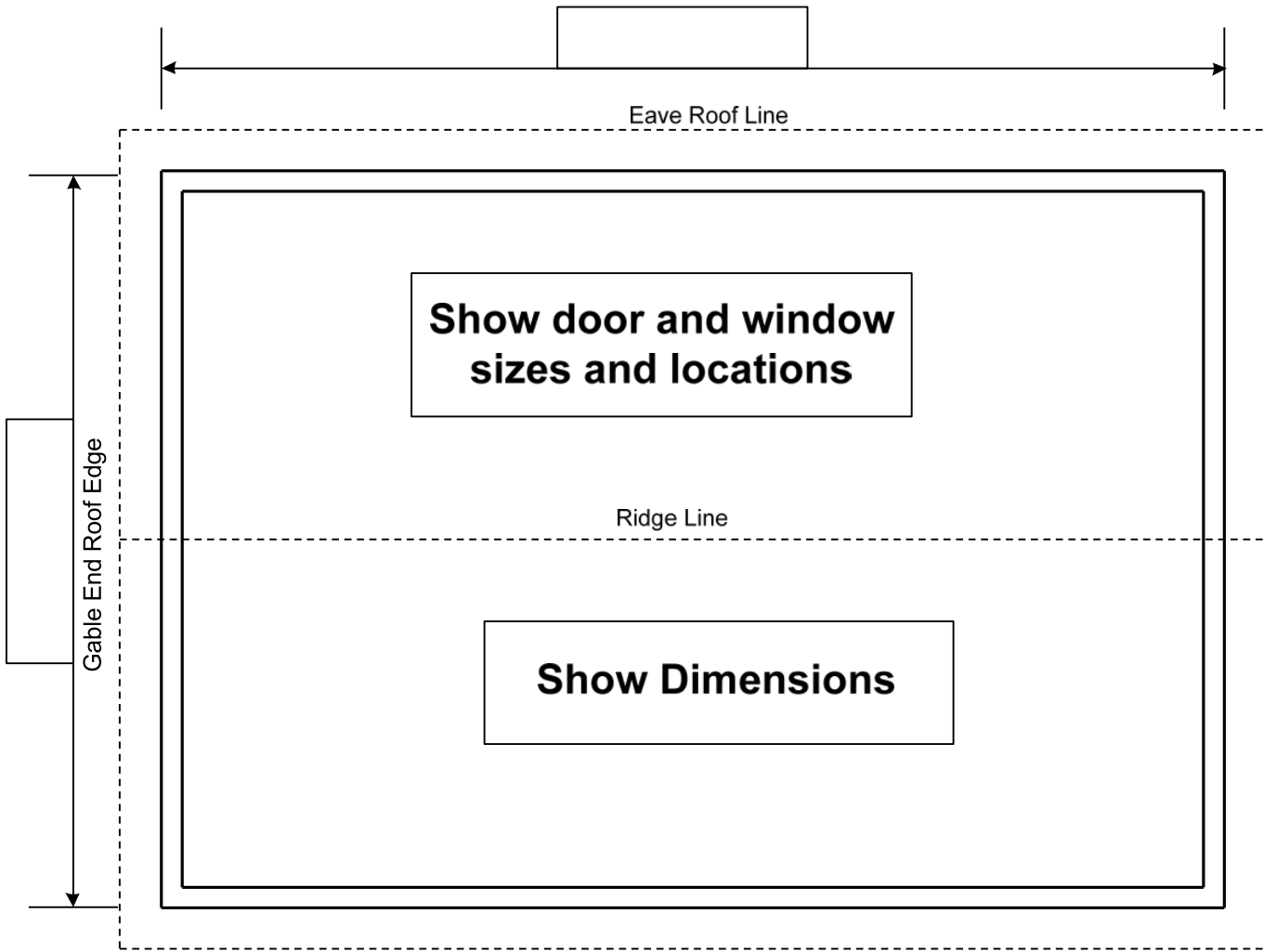
- Where an exterior wall is **less than 5’** from a property line, a minimum 1-hour fire-resistance rated wall is required.
- Projections (overhangs) constructed closer than 2’ are not allowed from 2-5’ to a property line require 1-hour fire-resistance rated construction on the underside.
- If the wall is less than 3’ from the property line, no openings (doors & windows) are allowed. If the wall is 3’ to 5’ from the property line, openings are limited to 25% maximum of wall area.
- Walls 5’ and over from the property line have no limit to the amount of openings.

**Additional permits required:**

- Separate electrical, mechanical, and plumbing permits are required for any work performed in these fields.

**Inspections required:**

- Footings – after all excavation is complete and forms are set and before concrete is poured.
- Rough electrical, mechanical, and plumbing (when applicable) and rough framing, before any work is concealed.
- Final inspection – after all work is completed and prior to use.



Specification form for detached garage accessory to one- and two-family dwellings. Please provide the following information:

- **Size of New Garage** \_\_\_\_\_ x \_\_\_\_\_ Wall Height \_\_\_\_\_ **Is this an addition?**  Yes  No  
Length Width
- **Wall Sheathing**  Plywood (approved structural wood panel)  
 OSB (approved structural wood panel)  
 Other sheathing \_\_\_\_\_
- **Wall Corner Bracing**  4' at each corner  
 Other bracing method \_\_\_\_\_  
Inquire at Building Division for alternative bracing methods
- **Roof Framing**  Manufactured wood trusses (copies of truss design required)  
 Rafters (ask for rafter information sheet and rafter tables)
- **Roof Sheathing**  Plywood (approved structural wood panel)  
 OSB (approved structural wood panel)  
**Size**  7/16"  1/2"  5/8"
- **Eave Ice Protection** (required to a point 24" inside exterior wall)  
 Self-adhering bitumen  
 2 layers mop on (cemented) #15 felt underlayment
- **Roofing Underlayment** Minimum #15 asphalt felt underlay
- **Roofing**  Asphalt/fiberglass shingles (approved)  
 Other roofing \_\_\_\_\_
- **Wall Weather Barrier (required)**  Approved house wrap  
 #15 asphalt felt  
 Other barrier \_\_\_\_\_
- **Siding**  Vinyl  
 Other siding \_\_\_\_\_

<b>OVERHEAD DOORS:</b>		Quantity	Width	x	Height	Quantity	Width	x	Height
Overhead doors:			X				X		
<b>In gable end?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No									
		Quantity	Width	x	Height	Quantity	Width	x	Height
Overhead door <b>Headers LVL:</b>			1 3/4"				1 3/4"		
<b>2X:</b>			2"				2"		

<b>DOORS and WINDOWS:</b>		Quantity	Width	x	Height	Quantity	Width	x	Height
Doors: <input type="checkbox"/> swing out <input type="checkbox"/> swing in <input type="checkbox"/> sliding			X		6'-8"		X		6'-8"
Door Headers:			2"				2"		
Windows:					X				X
Window Headers:			2"				2"		

