



RESIDENTIAL ATTACHED ADDITIONS & ALTERATIONS

Reference: 2021 International Residential Code
Code of Ordinances, City of Robins, Zoning Regulations, Ch.165

Permit requirements: A building permit is required when adding an addition or altering an existing structure. **All** residential attached additions are to be located per the zoning guidelines listed below.

Zoning guidelines: Planning & Zoning Dept. Phone – 319-393-0588
(Contact City Hall with questions about setbacks and other zoning requirements.)

Accessory Buildings

Zoning	Front Yard	Interior Side Yard	Corner Side Yard	Rear Yard
A1	75 ft	50 ft	50 ft	50 ft
R1	35 ft	15 ft	30 ft	5 ft
R2	30 ft	5 ft	20 ft	5 ft
R3	30 ft	5 ft	20 ft	5 ft
R4	25 ft	8 ft	15 ft	3 ft

Setbacks Dwellings/Principal Building

Zoning	Front Yard	Interior Side Yard	Corner Side Yard	Rear Yard
A1	40 ft	25 ft	40 ft	40 ft
R1	35 ft	15 ft	35 ft	35 ft
R2	30 ft	10 ft	30 ft	30 ft
R3	30 ft	10 ft	30 ft	30 ft
R4	25 ft	8 ft	15/25 ft	30 ft
C1	15 ft		15 ft	
C2	25 ft		25 ft	

- **Required side yard** dimension is 5 feet from property line to structure unless your home is located on a corner lot. (R1,R2, R3 zoning). The setback for a corner lot for R1 is 30 feet, R2/ R3 is 20 feet from the side property line.
- **Required front yard** setback for R1 is 35 feet, R2/R3 is 30 feet from the property line to the structure
- **Required rear yard** dimension is 20% of the depth of the lot with a minimum of 15 feet and a maximum of 25 feet
- No portion of the main structure (including overhangs) can encroach into an easement

Applying for a permit: (Submit 2 sets of building plans for review and approval (email PDF if available))

- Complete the “*Sample Site Plan*” showing all required information
- Fill out all of the applicable information on the “*Attached Additions*” form or submit detailed, scaled plans
- Present all completed plans to the Building Department located at Robins City Hall for review
- Upon completion of the review, you will be notified by phone or email to secure your permit

Foundation/Basement Plan:

- Indicate foundation type (for example: spread footings, trenched footing, post or pier footings)
- All footing sizes and locations (including porches and decks)
- Posts and beams: location, materials, sizes, hardware

Additional Information for Basement Plans (when applicable)

- Partition walls and room dimensions: stud sizes and spacing
- Room dimensions. Label all rooms
- Window and door locations and sizes
- Furnace, water heater, electrical panel, and sump pit locations

First Floor Plan: (Include existing rooms adjacent to additions.)

- Room sizes and overall dimensions. Label rooms
- Window and door locations and sizes
- Bathroom fixture and kitchen cabinet layouts
- Beam and header sizes and materials. Indicate any bearing walls

Second Floor Plan: When applicable, same as first floor

Wall Cross Section Drawing: (include size, material, spacing)

- Footing, foundation, reinforcing, tile, gravel, final grade level.
- Treated sill plate, floor joist, box joist, floor sheathing
- Wall framing, ceiling heights, wall sheathing, headers
- Weather barrier, siding, vapor barrier
- Insulation values: basement walls, framed walls, ceiling
- Ceiling joist, rafters, trusses, roof sheathing
- Eave ice barrier, roof felt underlayment, type of roof covering, soffit fascia, attic vents
- Siding and exterior finishes

Stair Cross Section: (When applicable)

- Rise, run, headroom, handrail height, guard spacing, and stair width

Exterior Elevations:

- Show final grade. The building addition should not alter the drainage of the property or direct additional water onto a neighbor
- Windows and doors
- Porches, decks, landings at doors

Additional permits required:

- Separate electrical, mechanical, and plumbing permits are required for any work performed.
 - State licensed contractors are to perform the work and obtain the necessary permits
 - A single family dwelling owner can perform the electrical, mechanical, and plumbing work by obtaining proper permits

Smoke Alarm requirements:

- Smoke Alarms are required to be brought up to code when constructing additions, see Smoke Alarm handout attached to this document.

Inspections required:

- Footings – after all excavation is complete and forms are set and before concrete is poured
- Rough electrical, mechanical, plumbing, and lastly, rough framing before insulating and covering

walls

- Final grade inspection prior to seed or sod
- Final inspection – after all work is completed and prior to use the permit holder should contact the Robins Building Department and arrange a final inspection. Once approved, a **Certificate of Occupancy** will be issued by the Building Department

ATTACHED ADDITION

Size of new building: _____ X _____

Roof covering: _____

Roof pitch: _____" in 12".

Eave ice protection: Required to a point 24" inside the exterior wall.

Roof underlayment: Minimum 15# asphalt felt underlay.

Roof sheathing: _____" plywood or OSB.

Roof framing: (check one below)

- Trusses _____' on center
- Rafters – 2" X _____" on _____" center
- Joists – _____" X _____" on _____" center

Walls: 2" X _____" X _____' studs on _____" center
 Double 2" X _____" top plate
 Bottom plate 2" X _____" pressure treated

Wall sheathing: _____" plywood or OSB

Headers: Double 2" X _____" over windows/doors

Weather barrier: _____

Siding: _____
 Minimum 6" clearance to untreated wood from grade.

Anchor bolts: 1/2" dia. bolts with nut and washer, max. 6' on center and within 12" of corners and ends, min. 2 bolts

Footing type: **A B C**

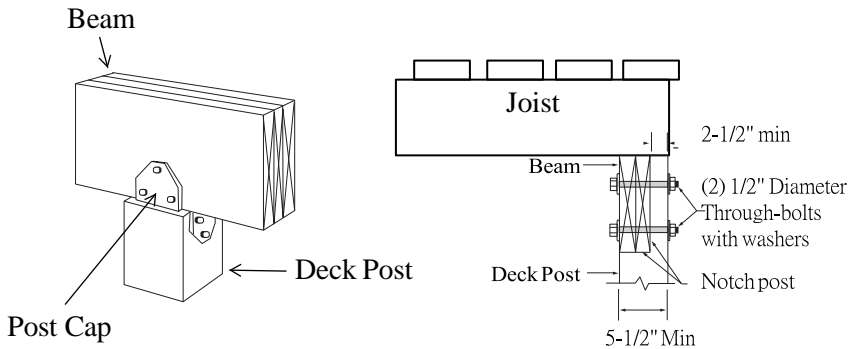
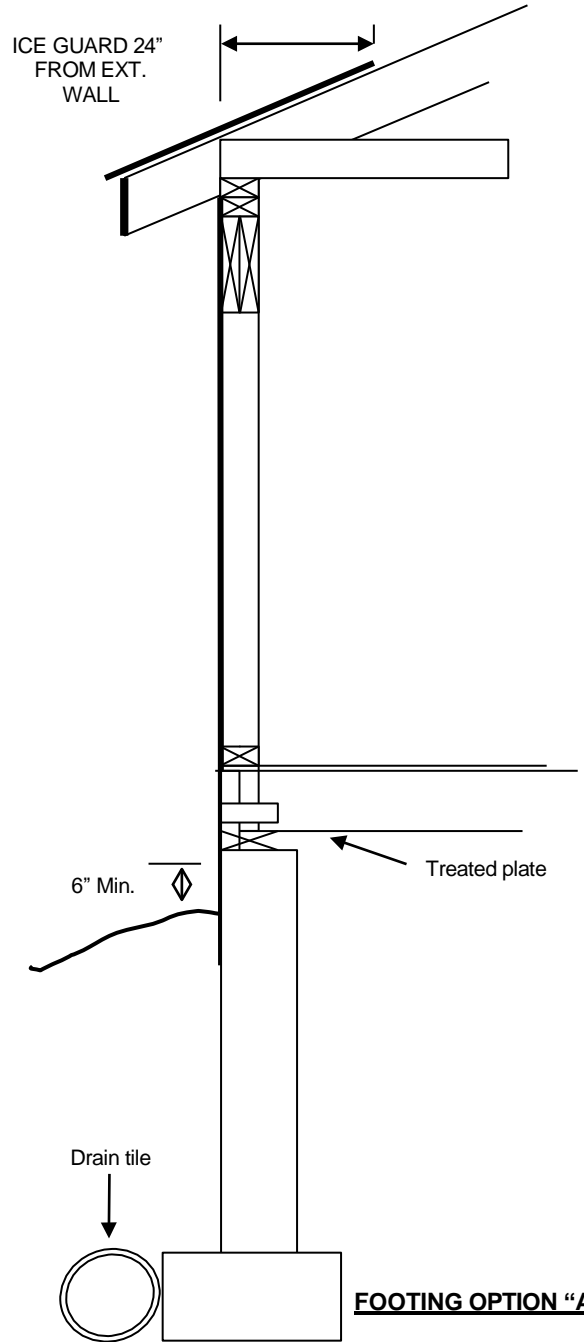
If footing type "B" or "C", answer the following:

Number of footings: _____

Beam size: _____ Number of beams: _____

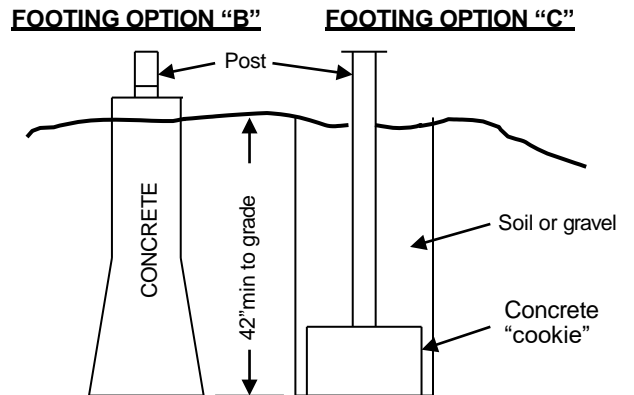
Beam span: _____ Joist size: _____

Joist span: _____



Over the top post/beam

Notched post/beam



FOOTING OPTION "B"

FOOTING OPTION "C"