



NOTICE OF MEETING

ROBINS PLANNING AND ZONING COMMISSION

TUESDAY, DECEMBER 19TH, 2023

6:00 P.M. @

ROBINS CITY HALL

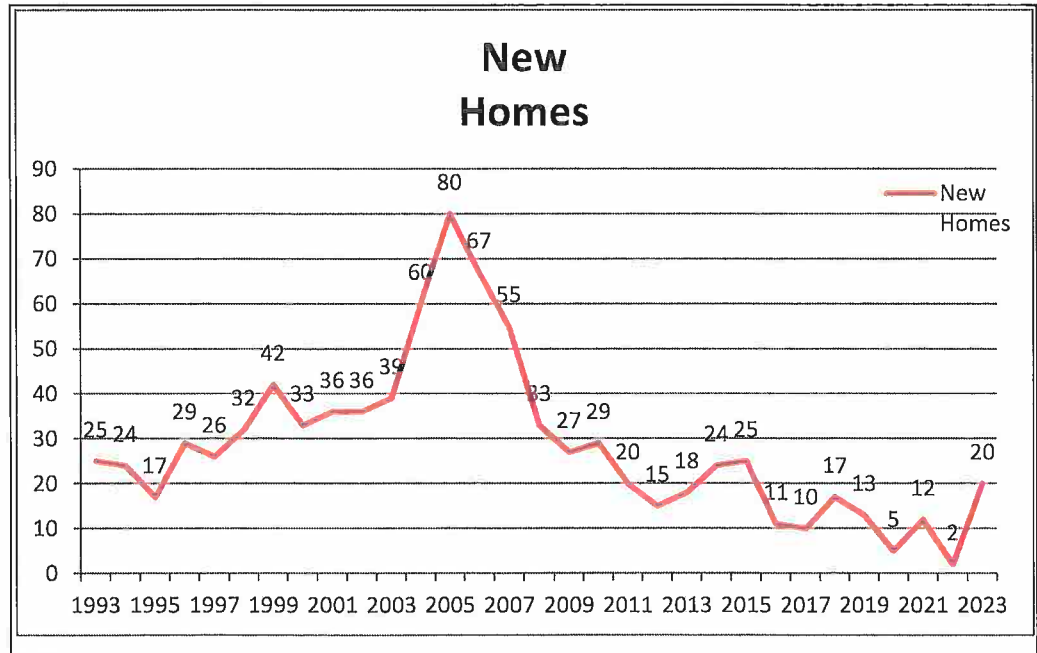
AGENDA:

1. Call the Meeting to Order
2. Roll Call of Members
3. Chairperson and Planning and Zoning Administrator Reports
4. Approval of the Agenda
5. Minutes of the September 20th, 2023 Meeting.
6. Motion to approve Resolution No. 2023-9 approving a 38' x 50' (1,900 s/f) accessory building at 975 East Main Street as requested by Dave and Becky Olsem.
7. Resolution No. 2023-10 recommending approval of the Final Plat of Olmstead's Second Addition in Linn County to Robins City Council.
8. Resolution No. 2023-11, recommending approval of Plat of Survey #2775, to Robins City Council.
9. Resolution No. 2023-12, recommending approval of Plat of Survey #2798, to Robins City Council.
10. Motion to adjourn.

Robins
Planning and Zoning Report
 November 30, 2023

Permit Number	BeginDate	Comment	PermitType	PartyName	FullAddress		City	State	Zip
					#	Street			
B22-002	09/08/23	Permit Re-New	Building	Kimberly Jauga	3078	Windsor Dr.			
B23-001	03/30/23	New SFD Construction	Building	First Construction	3083	Arbury Ct			
B23-001	04/07/23	New SFD Construction	Building	First Construction	3083	Arbury Ct			
B23-002	04/14/23	New SFD Construction	Building	Rosanne Donnelly	300	Dutch Dr.			
B23-003	04/20/23	New SFD Construction	Building	Tom Shey	1965	Kaylin Ct			
B23-005	05/08/23	New Duplex/Gargae	Building	Kenwood Homes, LLC	875	Miles St.			
B23-006	05/08/23	New Duplex/Gargae	Building	Kenwood Homes, LLC	901	Miles St.			
B23-007	06/07/23	New SFD Construction	Building	B. Hancock Construction	3084	Arbury Ct.			
B23-008	06/08/23	New SFD & Garage	Building	Matt Gangestad	3082	Arbury Ct			
B23-009	07/07/23	New SFD & Garage	Building	Will & Jenna Dible	3149	Windsor Dr.			
B23-010	08/08/23	New SFD & Garage	Building	Academy Homes	460	Dutch Dr.			
B23-011	08/08/23	New SFD & Garage	Building	le March & Katherine O'Br	3084	Brimley Pass			
B23-012		New SFD & Garage	Building	im Steinke & Kathy Norm	3067	Saxton Ln			
B23-013	09/22/23	New SFD & Garage	Building	Frey Homes	3089	Windsor Dr.			
B23-014	09/26/23	New SFD & Garage	Building	Tim Jacobs Homebuilders	3065	Saxton Ln			
B23-015	09/26/23	New SFD & Garage	Building	JP Homes	3081	Arbury Ln			
B23-016	10/09/23	New SFD	Building	Tom & Marilyn Cook	295	Northhaven Dr			
B23-017	10/17/23	New SFD & Garage	Building	McDaniel Construction	690	Kervin Ct			
BC23-001	03/03/23	ew Commercial Constructi-	Building	FC Land LLC	3230	N. Ctr Pt. Rd #500			
BC23-002	06/21/23	ew Commercial Constructi-	Commercial	Andy Eicher	3201	Eagle View Ct.			
BC23-003	09/06/23	New 50'x80' Outbuilding	Building	Midwest Janitorial Service	2822	N. Center Point Rd			

FY2023 Permits Issued	
January	22
February	12
March	30
April	28
May	39
June	34
July	30
August	37
September	38
October	34
November	22
December	
Total	326





ROBINS PLANNING AND ZONING COMMISSION
MINUTES OF THE SEPTEMBER 20TH, 2023 MEETING

Chairperson Tim O'Hara called the meeting to order at 5:30 p.m. Roll call was taken with commission members AJ Hester, Dan Ries, Dennis Trachta, Ed Rathgeber, Jay Goodin, and Tim O'Hara present, along with Planning and Zoning Administrator Dean Helander, REDI Coordinator Greg Neumeyer, City Clerk/Treasurer Lori Pickart and around 4 guests. Absent was Todd Roberts.

Rathgeber moved to approve the agenda, Trachta seconded; all voted aye. Rathgeber moved to approve the minutes of the August 16th, 2023 meeting, Trachta seconded and all voted aye.

The Commission reviewed the request from Tom & Marilyn Cook to construct a 34'x36' (1,224 sq. ft.) accessory building on their property located at 295 Northaven Drive. Mr. Cook noted they will also be building a home on the property in front of the proposed building area, he also said it would be the same color as their future home, but is hoping to get a variance for vertical siding on the building. He added no one will likely see the accessory building from the street. Goodin moved to approve Resolution No. 2023-7 approving the accessory building from the P&Z and recommending the same to the City Council. Trachta seconded the motion and all voted aye.

The Commission reviewed the Final Plat of The Village of Robins First Addition. The Commission asked if the cul-de-sacs would ever be extended, of which they could be. Mr. Ricklefs noted there are turn arounds in the last lot of the cul-de-sacs. The Commission verified the sewer comes between lots 42 and 43, and the water comes from Quass Road. It was pointed out the detention basin on Lot B was deeded to the homeowners association and the city streets were dedicated to the city. Rathgeber moved to approve Resolution No. 2023-8, recommending approval to the City Council, Ries seconded and all voted aye.

Trachta moved to adjourn the meeting at 5:47 p.m. Ries seconded and all voted aye.

Tim O'Hara
Chairperson

Dean Helander
Planning and Zoning Administrator



PLANNING AND ZONING COMMISSION
RESOLUTION No. 2023-9

WHEREAS, Dave and Becky Olsem have applied for a building permit to construct at 38' x 50' (1,900 s/f) accessory building at 975 East Main Street in Robins, Iowa.

WHEREAS, Chapter 165, Section 19.14.g; Residential Accessory Building Permit Requirements, requires review of and approval of any accessory building over 800 square feet or over twenty feet in mean-height by the Planning and Zoning Commission.

WHEREAS, the Robins Planning and Zoning Commission met on December 19th, 2023 to consider said request, and has reviewed said request in terms of the standards of review as set forth in Robins Zoning Ordinance.

NOW, THEREFORE BE IT RESOLVED BY THE ROBINS PLANNING AND ZONING COMMISSION, AS FOLLOWS:

1. Dave and Becky Olsem are allowed to construct at 38' x 50' (1,900 s/f) accessory building at 975 East Main Street in Robins, Iowa on behalf of the Planning and Zoning Commission.
2. Conditions:
 - A. The building will not be constructed on any easement on the property.
 - B. The building will be sided with the same color and type as the principle building.
 - C. The property owner is responsible to ensure the accessory building is in conformance with any restrictive covenants.
 - D. The applicant shall agree with the conditions specified above by signing below.

PASSED AND APPROVED, this 19th day of December 2023.

Tim O'Hara, Chairperson

Dean Helander, Zoning Administrator

Agreed to this 19th day of December, 2023.

Dave and/or Becky Olsem

Things to do

Transit

P Parking

Pharmacies

ATMs



$$38' \times 50' = 1,900 \text{ s/f}$$

Date: 10/27/2023 - 12:02 PM

Design ID: 302059683229

Estimate ID: 45449

Estimated Price: \$22,411.95

W/ Menards Price. Actual pricing may go up or down. Tax, labor, and delivery not included.

975 EAST MAIN

DAVE OLSEN

MENARDS

Design & Buy™
GARAGE

How to recall and purchase your design at home:



OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 302059683229
4. Follow the on-screen purchasing instructions

How to purchase your design at the store:

1. Enter Design ID: 302059683229 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.



PLANNING AND ZONING COMMISSION
RESOLUTION No. 2023-9

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 - D. The applicant shall agree with the conditions specified above by signing below.

PASSED AND APPROVED, this 19th day of December 2023.

Tim O'Hara, Chairperson

Dean Helander, Zoning Administrator

Agreed to this 19th day of December, 2023.

Dave and/or Becky Olsem





PROPERTY LOCATION:
3699 MOHLER ROAD
NW 1/4 SW 1/4 31-85-7
SW 1/4 NW 1/4 31-85-7
OTTER CREEK TOWNSHIP

PROPRIETORS:
DANIEL J. OLMSTEAD
BARBARA OLMSTEAD

OWNER: BRECKE
ZONED: AG

SURVEYED FOR:
DAN OLMSTEAD
3699 MOHLER ROAD
CENTER POINT, IA 52213
319-533-6463

W 1/4 CORNER
SECTION 31
T85N, R7W
FD. 5/8" REBAR
LINN CO. CAP
BOOK 4230
PAGE 169

SURVEYOR:
STEPHEN M. SCOTT
3426 STANDLEE ROAD
TODDVILLE, IOWA 52341
319-540-5263

DATE OF SURVEY:
SEPTEMBER, 2021
SEPTEMBER, 2023

OWNER: CROUSE
ZONED: AG

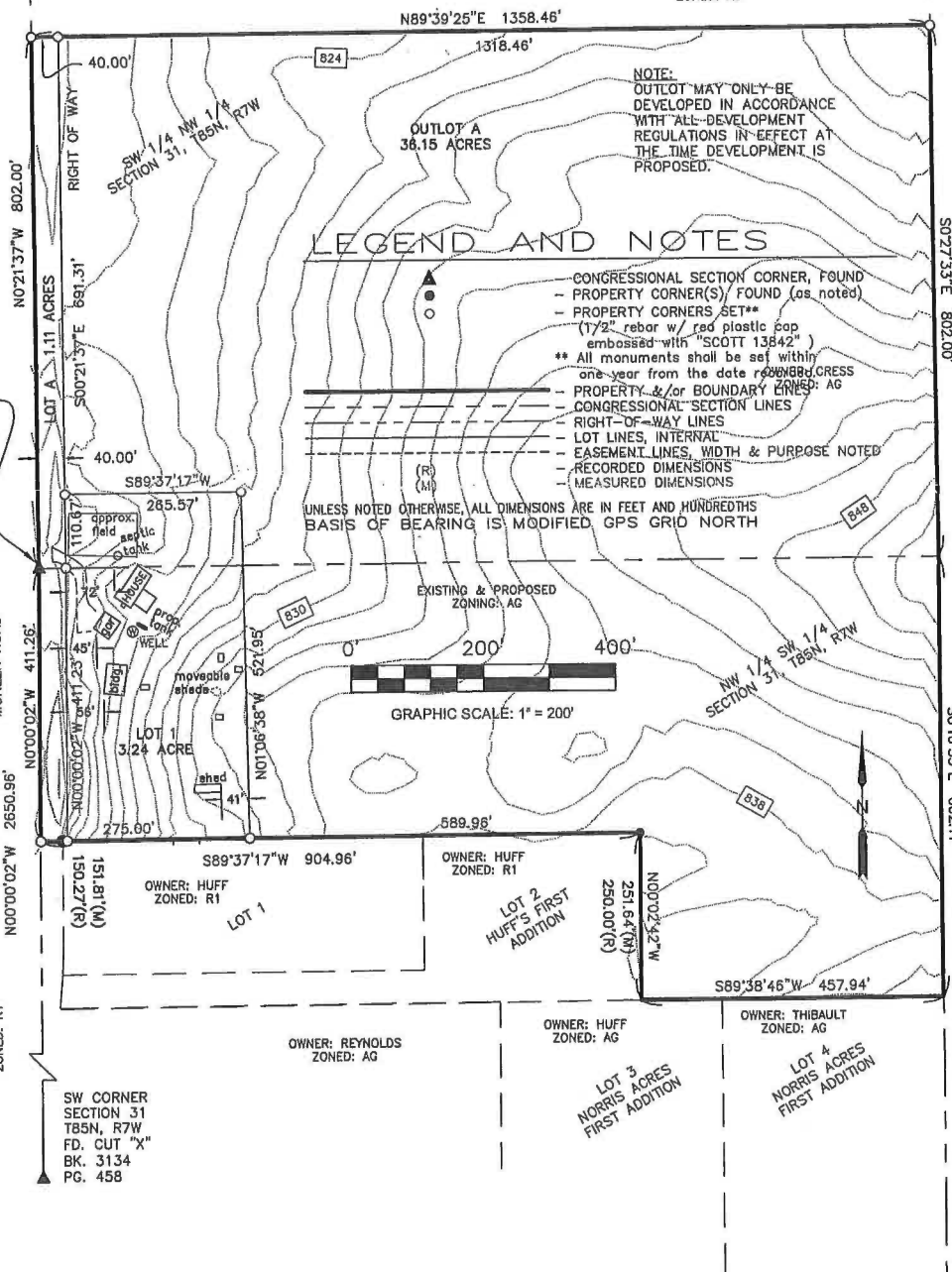
Legal Description:
Part of the Northwest Quarter of the Southwest Quarter and part of the Southwest Quarter of the Northwest Quarter, all located in Section 31, Township 85 North, Range 7 West of the Fifth Principal Meridian, Linn County, Iowa, described as follows:

Beginning at the West Quarter Corner of Section 31, Township 85 North, Range 7 West of the Fifth Principal Meridian; thence N0°21'37"W along the west line of the Northwest Quarter of said Section 31, a distance of 802.00 feet; thence N89°39'25"E, 1358.46 feet to the east line of the Southwest Quarter of said Northwest Quarter; thence S0°27'33"E, 802.00 feet; thence S0°16'53"E, 662.11 feet; thence S89°38'46"W along the north boundary of Norris Acres First Addition, 457.94 feet; thence N0°02'42"W, 251.51 feet to the Northeast Corner of Lot 2, Huff's First Addition; thence S89°37'17"W along the north line of said Huff's First Addition, 904.95 feet; thence N0°00'02"W along the west line of the Southwest Quarter, 411.26 feet to the point of beginning.

Said parcel contains 40.50 acres, subject to easements and restrictions of record.

SITE PLAN OLMSTEAD'S SECOND ADDITION TO LINN COUNTY, IOWA

OWNER: BRECKE
ZONED: AG

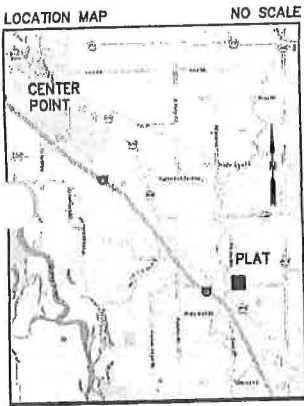


Stephen M. Scott, P.E. & L.S.
Civil Engineer & Land Surveyor

319-540-5263
email@scottsurvey.com
P.O. Box 315, Center Point, IA 52213-0315

NOTE:
LOT A IS DEDICATED
TO LINN COUNTY FOR
ROAD RIGHT OF WAY.

PROJECT NO. 23109101



PROPERTY LOCATION:
3699 MOHLER ROAD
NW 1/4 SW 1/4 31-85-7
SW 1/4 NW 1/4 31-85-7
OTTER CREEK TOWNSHIP

PROPRIETORS:
DANIEL J. OLMSTEAD
BARBARA OLMSTEAD

SURVEYED FOR:
DAN OLMSTEAD
3699 MOHLER ROAD
CENTER POINT, IA 52213
319-533-6463

W 1/4 CORNER
SECTION 31
T85N, R7W
FD. 5/8" REBAR
W/YELLOW
LINN CO. CAP
BOOK 4230
PAGE 169

SURVEYOR:
STEPHEN M. SCOTT
3426 STANDLEA ROAD
TODDVILLE, IOWA 52341
319-540-5263

DATE OF SURVEY:
SEPTEMBER, 2021
SEPTEMBER, 2023

Legal Description:
Part of the Northwest Quarter of the Southwest Quarter and part of the Southwest Quarter of the Northwest Quarter, all located in Section 31, Township 85 North, Range 7 West of the Fifth Principal Meridian, Linn County, Iowa, described as follows:

Beginning at the West Quarter Corner of Section 31, Township 85 North, Range 7 West of the Fifth Principal Meridian; thence NO²¹37'W along the west line of the Northwest Quarter of said Section 31, a distance of 802.00 feet; thence N89°39'25"E, 1358.46 feet to the east line of the Southwest Quarter of said Northwest Quarter; thence S0°27'33"E, 802.00 feet; thence S0°16'53"E, 662.11 feet; thence S89°38'46"W along the north boundary of Norris Acres First Addition, 457.94 feet; thence N0°02'42"W, 251.51 feet to the Northeast Corner of Lot 2, Huff's First Addition; thence S89°37'17"W along the north line of said Huff's First Addition, 904.95 feet; thence N0°00'02"W along the west line of the Southwest Quarter, 411.26 feet to the point of beginning.

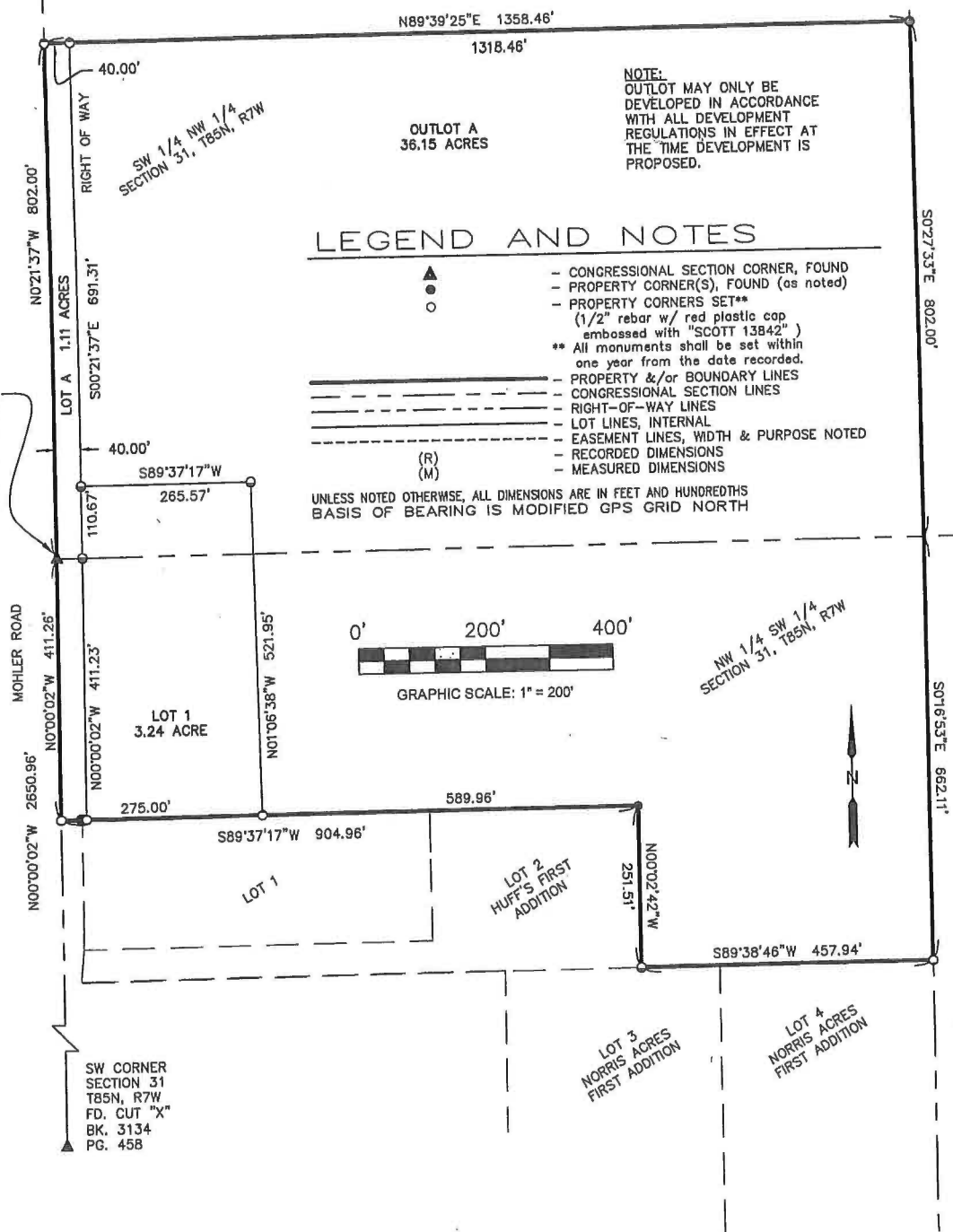
Said parcel contains 40.50 acres, subject to easements and restrictions of record.

FINAL PLAT

OLMSTEAD'S SECOND ADDITION

TO LINN COUNTY, IOWA

SECTION 31
T85N, R7W
FD. 5/8" REBAR
W/YELLOW
BOOK 4230
PAGE 169

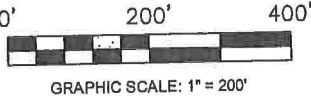


NOTE:
OUTLOT MAY ONLY BE DEVELOPED IN ACCORDANCE WITH ALL DEVELOPMENT REGULATIONS IN EFFECT AT THE TIME DEVELOPMENT IS PROPOSED.

LEGEND AND NOTES

- ▲ CONGRESSIONAL SECTION CORNER, FOUND
- PROPERTY CORNER(S), FOUND (as noted)
- PROPERTY CORNERS SET**
(1/2" rebar w/ red plastic cap embossed with "SCOTT 13842")
- ** All monuments shall be set within one year from the date recorded.
- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- LOT LINES, INTERNAL
- EASEMENT LINES, WIDTH & PURPOSE NOTED
- RECORDED DIMENSIONS
- MEASURED DIMENSIONS

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS
BASIS OF BEARING IS MODIFIED GPS GRID NORTH



Stephen M. Scott, P.E. & L.S.
Civil Engineer & Land Surveyor

319-540-5263
email@scottsurvey.com
P.O. Box 315, Center Point, IA 52213-0315

www.scottsurvey.com

NOTE:
LOT 1 IS DEDICATED TO LINN COUNTY FOR ROAD RIGHT OF WAY.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

STEPHEN M. SCOTT, P.E. & L.S. Iowa Lic. No. 13842

My license renewal date is December 31, 2024

Pages or sheets covered by this seal:

THIS PAGE ONLY

PROJECT NO. 23109101

RESOLUTION #2023-10
APPROVING A FINAL PLAT
LOCATED IN LINN COUNTY, IOWA

WHEREAS, A FINAL PLAT OF OLMSTEAD'S SECOND ADDITION TO LINN COUNTY, containing two (2) lots, numbered one and Outlot A has been filed with the City Planning and Zoning Commission, Robins, Iowa, and after consideration, the same is found to be in correct and in accordance with the provisions of the laws of the State of Iowa, and the approval of the City of Robins, Iowa.

NOW THEREFORE BE IT RESOLVED BY THE CITY PLANNING COMMISSION OF THE CITY OF ROBINS, IOWA, that said plat and dedications of said Olmstead's Second Addition to Linn County, Iowa, be and the same is hereby acknowledged and approved on the part of the City Planning and Zoning Commission, and this commission hereby recommends to the City Council, the acceptance of the same, and the chairperson and secretary are hereby authorized and directed to certify this resolution and approval and affix the same to said plat as by law provided.

Passed this 19th day of December AD, 2023.

Tim O'Hara, Chairperson

Dean Helander
Planning & Zoning Administrator

STATE OF IOWA)
) SS
LINN COUNTY)

We, Tim O'Hara, Chairperson, and Dean Helander, Planning and Zoning Administrator, Robins, Iowa, do hereby certify that the above and foregoing resolution is a true and correct copy of the resolution passed by the City Planning & Zoning Commission, Robins, Iowa, on this 19th day of December, AD, 2023.

Tim O'Hara, Chairperson

Dean Helander,
Planning & Zoning Administrator

PLANNING AND ZONING RESOLUTION NO. 2023-11

Approving Plat of Survey No. 2775

WHEREAS, Plat of Survey No. 2775 has been received from Randal and Kristal Zieser dated August 2023, relating to the Storm Basin Easement abutting the Village of Robins First Addition, and

WHEREAS, the requester desires to divide said Storm Water Easement from the balance of the Zieser's property.

NOW THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROBINS, Plat of Survey No. 2775 is hereby accepted by the Planning and Zoning Commission and recommends approval to the Robins City Council.

Passed and Approved December 19th, 2023.

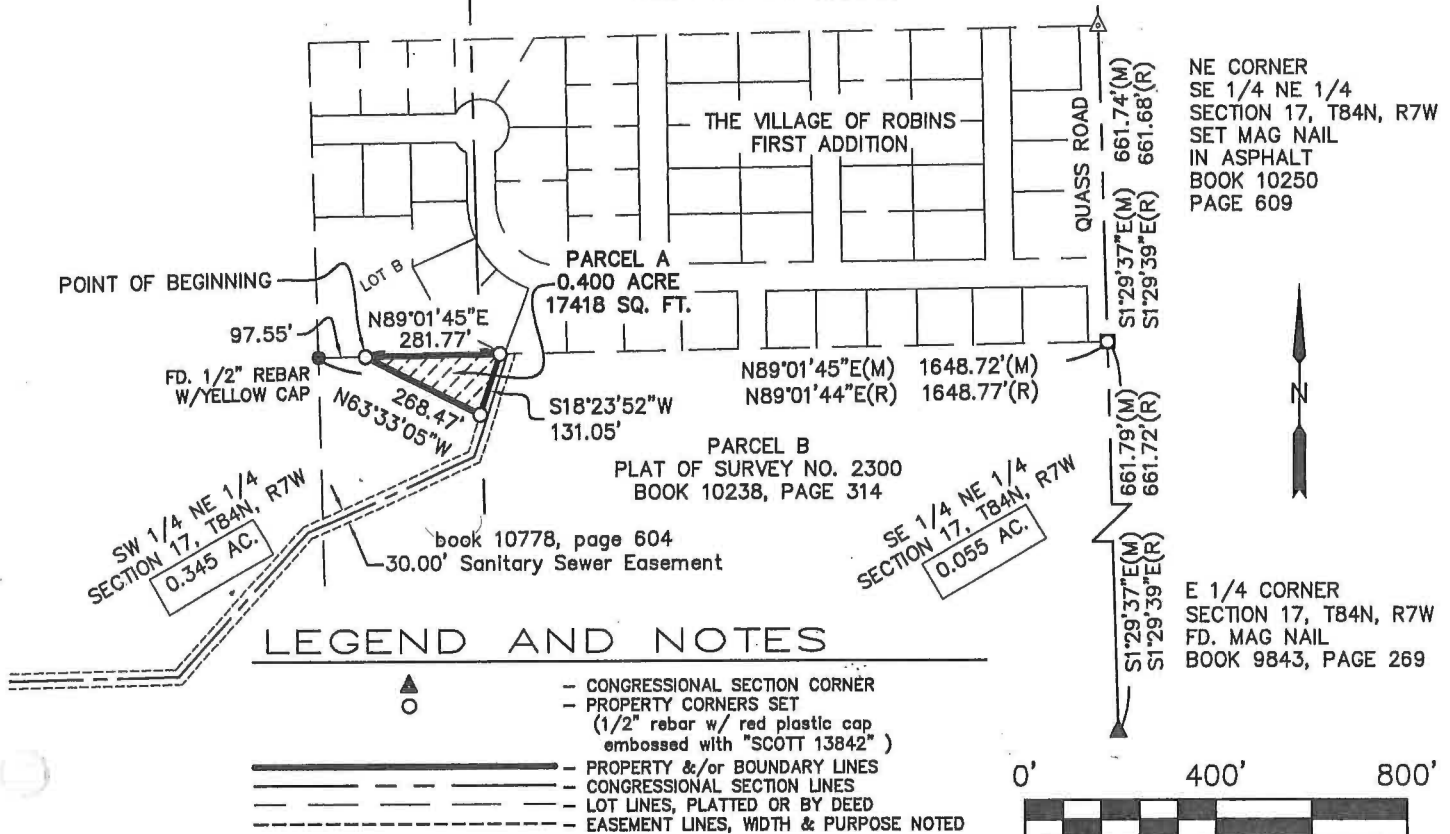
Tim O'Hara, Chairperson

Dean Helander, Planning &
Zoning Administrator

PARCEL A
PLAT OF SURVEY NO. 2775

PART OF PARCEL B
P.O.S. NO. 2300
PART OF THE S 1/2 NE 1/4
SECTION 17, T84N, R7W
CITY OF ROBINS
LINN COUNTY, IOWA

DATE OF SURVEY:
JULY, 2020
AUGUST, 2023



LEGEND AND NOTES

- CONGRESSIONAL SECTION CORNER
- PROPERTY CORNERS SET
(1/2" rebar w/ red plastic cap
embossed with "SCOTT 13842")
- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- LOT LINES, PLATTED OR BY DEED
- EASEMENT LINES, WIDTH & PURPOSE NOTED

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS



GRAPHIC SCALE: 1" = 400'

Legal Description -- Parcel A:

Part of Parcel B, Plat of Survey No. 2300 in the South Half of the Northeast Quarter of Section 17, Township 84 North, Range 7 West of the Fifth Principal Meridian, City of Robins, Linn County, Iowa.

Commencing at the Northwest Corner of Parcel B, Plat of Survey No. 2300 in the South Half of the Northeast Quarter of Section 17, Township 84 North, Range 7 West of the Fifth Principal Meridian; thence N89°01'45"E along the north line of said Parcel B, 97.55 feet to the point of beginning; thence continuing N89°01'45"E along said north line, 281.77 feet; thence S18°23'52"W along the westerly easement line of the Sanitary Sewer and Utility Easement found in book 10778, page 604, Office of the Recorder, Linn County, Iowa, a distance of 131.05 feet; thence N63°33'05"W, 268.47 feet to the point of beginning.

Said parcel contains 0.400 acre, subject to easements and restrictions of record.



Stephen M. Scott, P.E. & L.S.
Civil Engineer & Land Surveyor

319-540-5263

email@scottsurvey.com

P.O. Box 315, Center Point, IA 52213-0315

www.scottsurvey.com



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

STEPHEN M. SCOTT, P.E. & L.S. Iowa Lic. No. 13842

My license renewal date is December 31, 2024

Pages or sheets covered by this seal:

THIS PAGE ONLY

PROJECT NO. 2387102

PLANNING AND ZONING RESOLUTION NO. 2023-12

Approving Plat of Survey No. 2798

WHEREAS, Plat of Survey No. 2798 has been received from Raymond and Mary Collins dated November 21st, 2023; and

WHEREAS, the requester desires to sever .55 acres from their 88.41 acre parcel as depicted in Plat of Survey No. 2798 to sell to the neighboring parcel.

NOW THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROBINS, Plat of Survey No. 2798 is hereby accepted by the Planning and Zoning Commission and recommends approval to the Robins City Council.

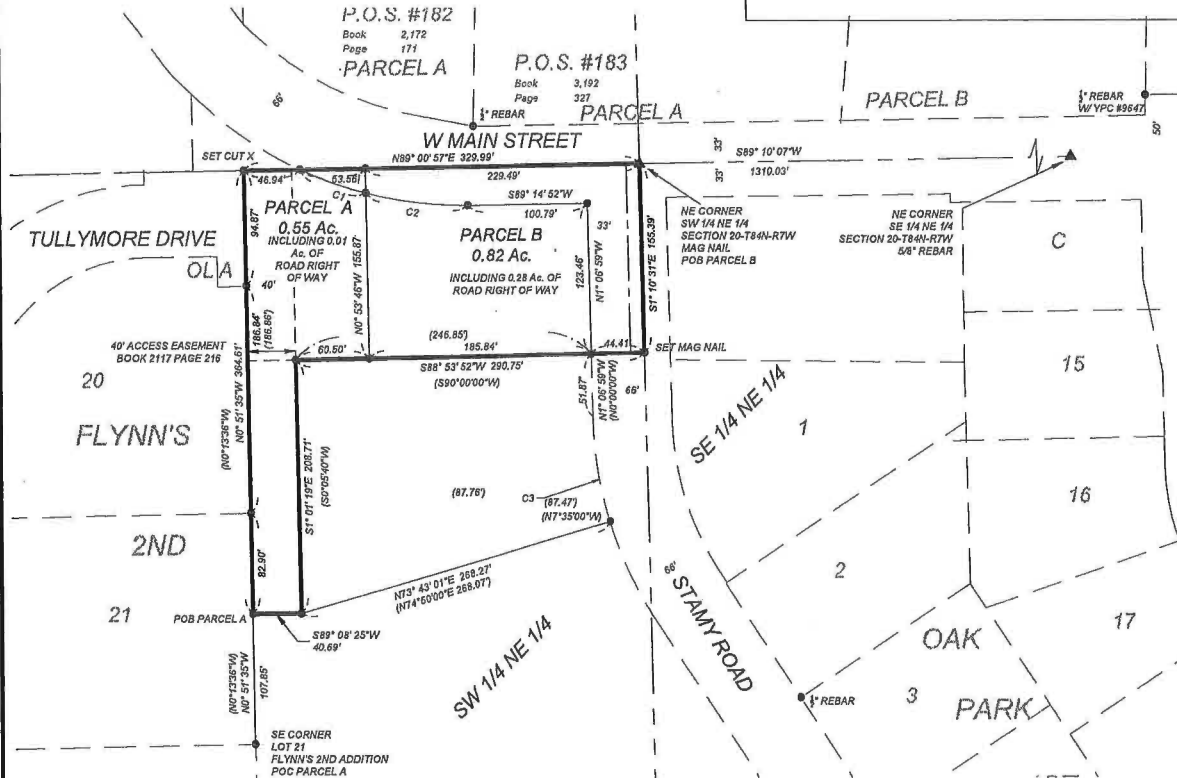
Passed and Approved December 19th, 2023.

Tim O'Hara, Chairperson

Dean Helander, Planning &
Zoning Administrator

PLAT OF SURVEY No. 2798 PARCELS A AND B

Index Legend
Location Description: A part of the E 5 Ac. of the N 1/2 SW 1/4 NE 1/4, Section 20-T84N-R7W, Linn County, Iowa
Requestor: Raymond L. Collins
Proprietor: Raymond L. Collins Trust and Mary A. Collins Trust
Surveyor: Kevin F. Bradshaw, L.S.
Surveyor's Company: Brain Engineering, Inc.
Return to: SM Brain, 1540 Midland Ct NE Cedar Rapids, IA 52402 or mikeb@brain-eng.com (319) 294-9424



LEGAL DESCRIPTION - Parcel A
A part of the East 5 acres of the N 1/2 SW 1/4 NE 1/4 of Section 20, Township 84 North, Range 7 West of the 5th Principal Meridian, City of Robins, Linn County, Iowa described as follows:

Commencing as a point of reference at the SE Corner of Lot 21, Flynn's Second Addition to Robins, Iowa;
thence N00°51'35"W along the east line of said Flynn's Second Addition, 107.85 feet to the Point of Beginning;
thence continuing N00°51'35"W along said east line, 364.61 feet to the north line of said N 1/2 SW 1/4 NE 1/4;
thence N89°00'57"E along said north line, 100.50 feet;
thence S00°53'46"W, 155.87 feet;
thence S88°53'52"W, 60.50 feet;
thence S01°01'19"E, 208.71 feet;
thence S89°08'25"W, 40.69 feet to the Point of Beginning, containing 0.55 acres which includes 0.01 acres of road right of way.

LEGAL DESCRIPTION - Parcel B
A part of the East 5 acres of the N 1/2 SW 1/4 NE 1/4 of Section 20, Township 84 North, Range 7 West of the 5th Principal Meridian, City of Robins, Linn County, Iowa described as follows:
Beginning at the NE corner of said SW 1/4 NE 1/4;
thence S01°10'31"E along the east line of said N 1/2 SW 1/4 NE 1/4, 155.39 feet;
thence S88°53'52"W, 230.25 feet;
thence N00°53'46"W, 155.87 feet to the north line of said SW 1/4 NE 1/4;
thence N89°00'57"E along said north line, 229.49 feet to the Point of Beginning, containing 0.82 acres which includes 0.28 acres of road right of way.

	I hereby certify that this land surveying document and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa. Signed _____ Date _____
	Kevin F. Bradshaw, L.S. My License Renewal Date is December 31, 2024 License Number 17543 Pages or sheets covered by this seal: THIS PAGE

DATE OF SURVEY: 11/17/23

Project No.: 506323-10 Title: PLAT OF SURVEY No. 2798 PARCELS A AND B

BRAIN CIVIL - LAND DEVELOPMENT - SURVEYING - TRANSPORTATION ENGINEERING, INC.	Drawn: DJB Book: DC 11/21/23 Checked: _____ Scale: 1" = 100'
--	--

SURVEYOR: BRAIN ENGINEERING, INC.
1540 MIDLAND COURT NE
CEDAR RAPIDS, IA 52402
319-294-9424



- ▲ FOUND SECTION CORNER
- FOUND 1/2" REBAR W/ YPC #9500 OR AS LABELED
- △ SET SECTION CORNER
- SET 1/2" REBAR W/ YPC #17543
- POB POINT OF BEGINNING
- RECORDED AS
- SCM 4"x 4" CONCRETE POST w/DISK
- UDE UTILITY & DRAINAGE EASEMENT
- YPC YELLOW PLASTIC CAP
- POC POINT OF COMMENCEMENT
- BORDER
- - - CENTERLINE
- PROPERTY LINE
- - - SECTION LINE
- - - ADJACENT PROPERTY/ROW

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	57.26	319.50	10.27	N70° 24' 34"W	57.18
C2	85.60	319.50	15.35	N83° 13' 05"W	85.34

NOTE: ALL MEASUREMENTS IN FEET AND DECIMALS THEREOF.

